

BC No: 230501

SITE DETAILS:

71 DAVIS ROAD

CUST

LEGAL:

LOT 1

AS BUILT TRUSS LAYOUT REQUIRED –
This must be received by the Building Unit
AT LEAST 10 WORKING DAYS PRIOR to the
Structure Pre-Roof Pre-Wrap Inspection

Truss “As-Built” Designs may be sent to:
buildinginfo@wmk.govt.nz

Approved Building Consent Documents and Plans (Full set)

On Site Copy

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

Inspections

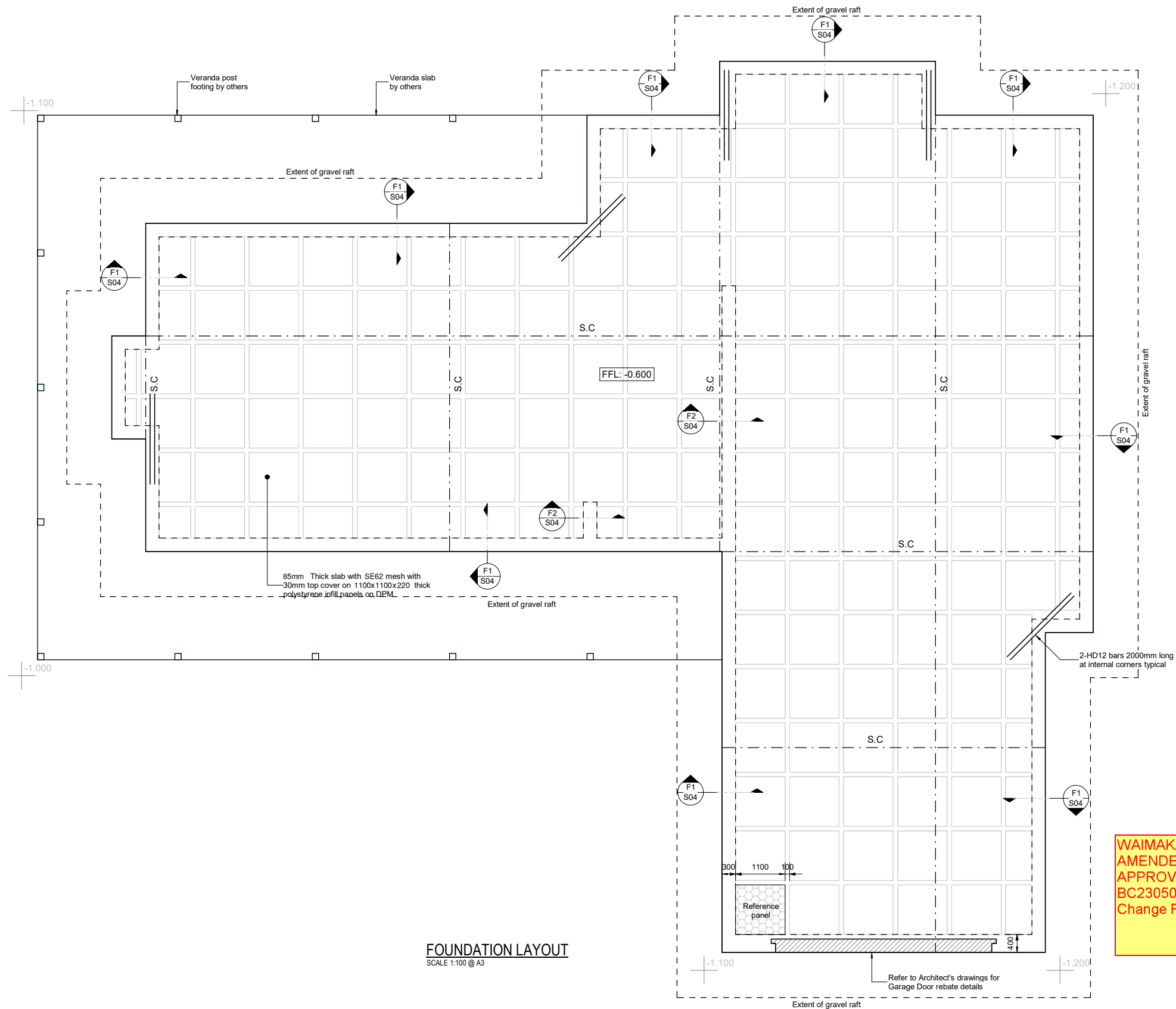
For bookings or building enquiries please phone the **Building Unit** on:

03 311 8906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- At least 2-3 full working days' notice should be given when booking an inspection.
- Please be advised that it may not always be possible to carry out the inspection within the time frame you require.
- Provision is to be made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed.
 - Audit of WDC building consent file has been completed.
 - Payment of any outstanding invoices is received.



FOUNDATION LAYOUT
SCALE 1:100 @ A3

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications
APPROVED
BC230501.02 15/11/2023 bhargavac
Change Foundation to Ribraft

Point Load
INTERNAL STIFFENING BEAM OR
THICKENING FOR POINT LOADS OR LOAD
BEARING WALLS LARGER THAN 13 KN

Tiled area. Any Sawcuts crossing tiled area
require a free joint in the tiles above the sawcut.

DRAWING STATUS			
CONSENT ISSUE			
SCALE @ A1 1: 50 @ A3 1:100	DATE 09.08.2023	SHEET NO. S02	
DRAWN	JZ	JOB NO. 23-180	ISSUE A
DESIGNED	-		
CHECKED	TW		

READYSuperslab

30086

Appraisal No 964 (2017)

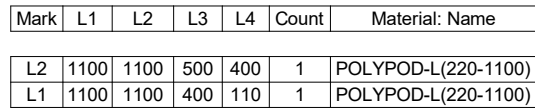
REV	DATE	AMENDMENT	BY
A	09.08.2023	CONSENT ISSUE	CL

CIVIL & STRUCTURAL ENGINEERS

JOB TITLE
71 DAVIS ROAD, CUST

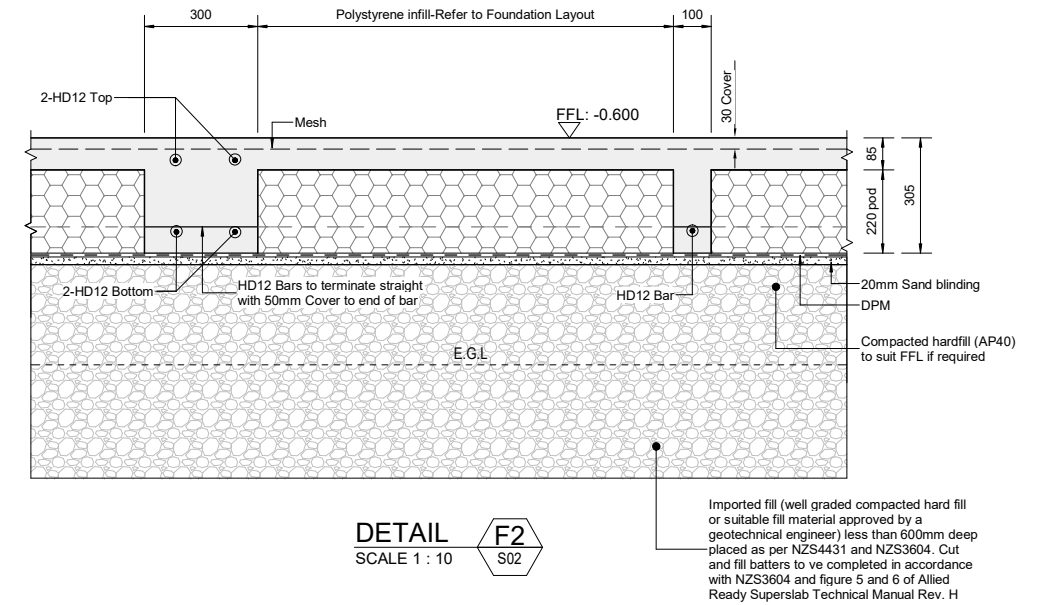
DRAWING TITLE
CODEMARK ALLIED READY
SUPERSLAB FOUNDATION
PLAN

DESIGN ISSUED BY HFC CIVIL & STRUCTURAL (SOUTH) LTD, PART OF THE HFC GROUP OF COMPANIES. E: CHCH@HFC.CO.NZ P: 03 339 7000




NOTE: Approximate quantities only, no allowance for site wastage

DRAWING STATUS			
CONSENT ISSUE			
SCALE @ A1 As Indicated @ A3 1:100	DATE 09.08.2023	SHEET NO. S03	
DRAWN JZ			
DESIGNED -	JOB NO. 23-180		ISSUE A
CHECKED TW			





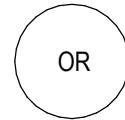


A	09.08.2023	CONSENT ISSUE	CL	 DESIGN ISSUED BY HFC CIVIL & STRUCTURAL (SOUTH) LTD, PART OF THE HFC GROUP OF COMPANIES. E: CHCH@HFC.CO.NZ P: 03 339 7000	
REV	DATE	AMENDMENT	BY		

DRAWING TITLE

CODEMARK ALLIED READY
SUPERSLAB FOUNDATION
DETAILS

DRAWING STATUS			
CONSENT ISSUE			
SCALE @ A1 1 : 10 @ A3 1:20	DATE 09.08.2023	SHEET NO. S04	
DRAWN	JZ		
DESIGNED	-	JOB NO. 23-180	ISSUE A
CHECKED	TW		

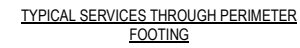


Top and bottom rib bars should not be cut! Create new rib (2400mm long min) adjacent any rib which clashes with pipe penetration.

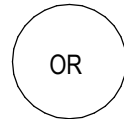
Cut one bar maximum, only as last resort. Extend bars through where 30mm minimum cover can be achieved

Sleeve 50mm larger diameter than service pipe - maximum diameter of sleeve 163mm

Top and bottom rib bars should not be cut! Create new rib (2400mm long min) adjacent any rib which clashes with pipe penetration.

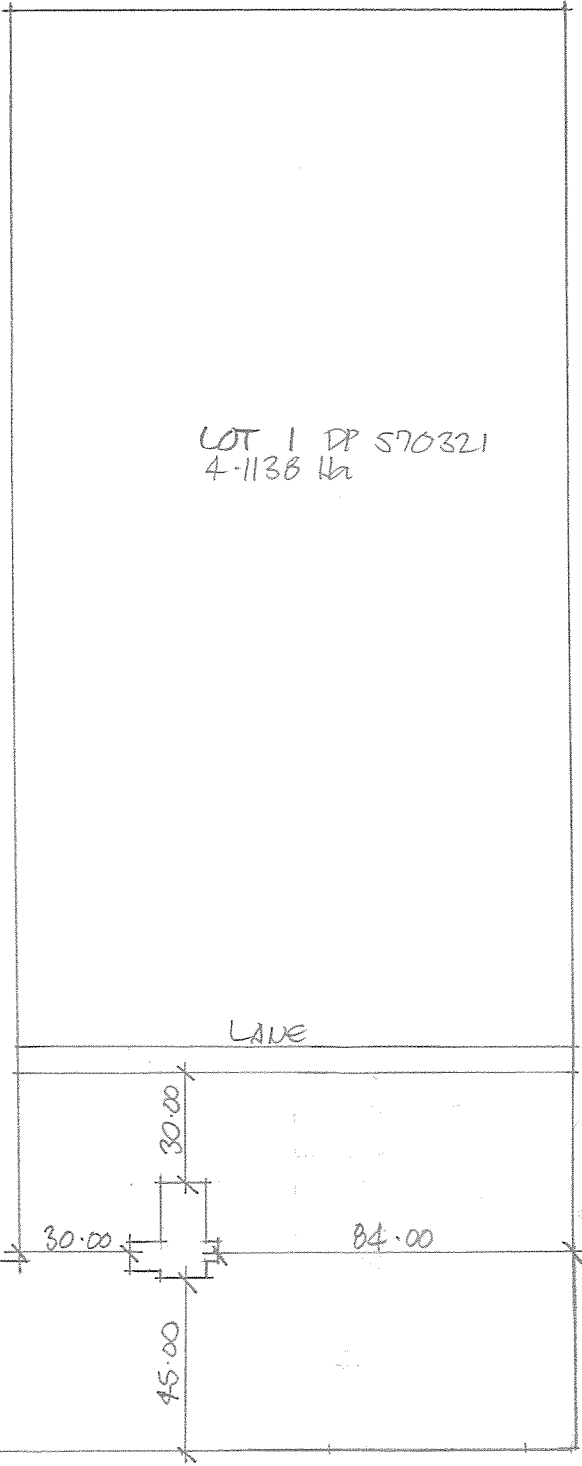
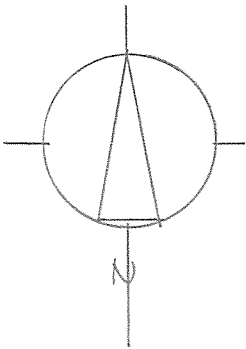
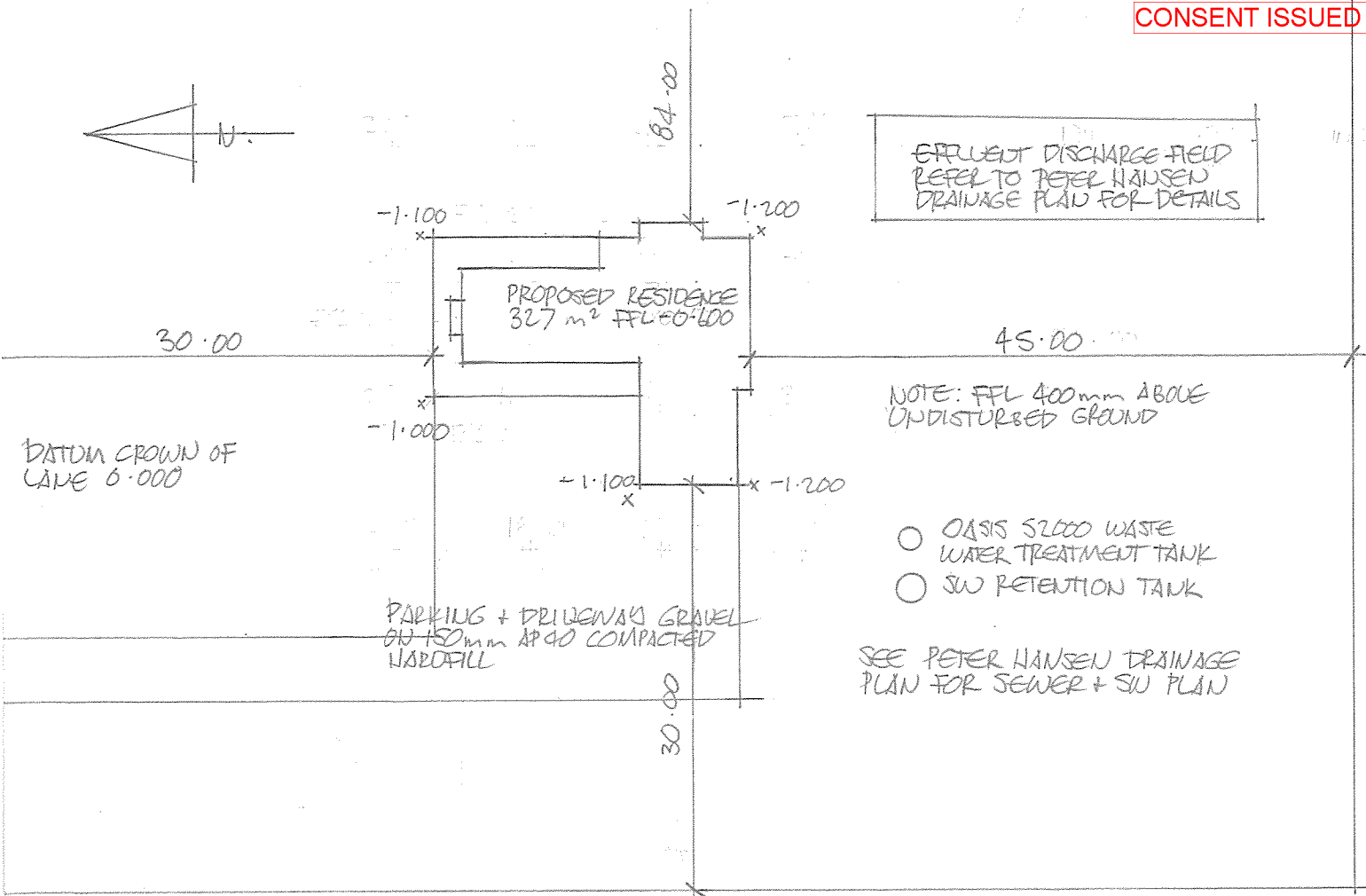


TYPICAL SERVICES THROUGH RIBS

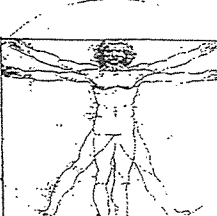


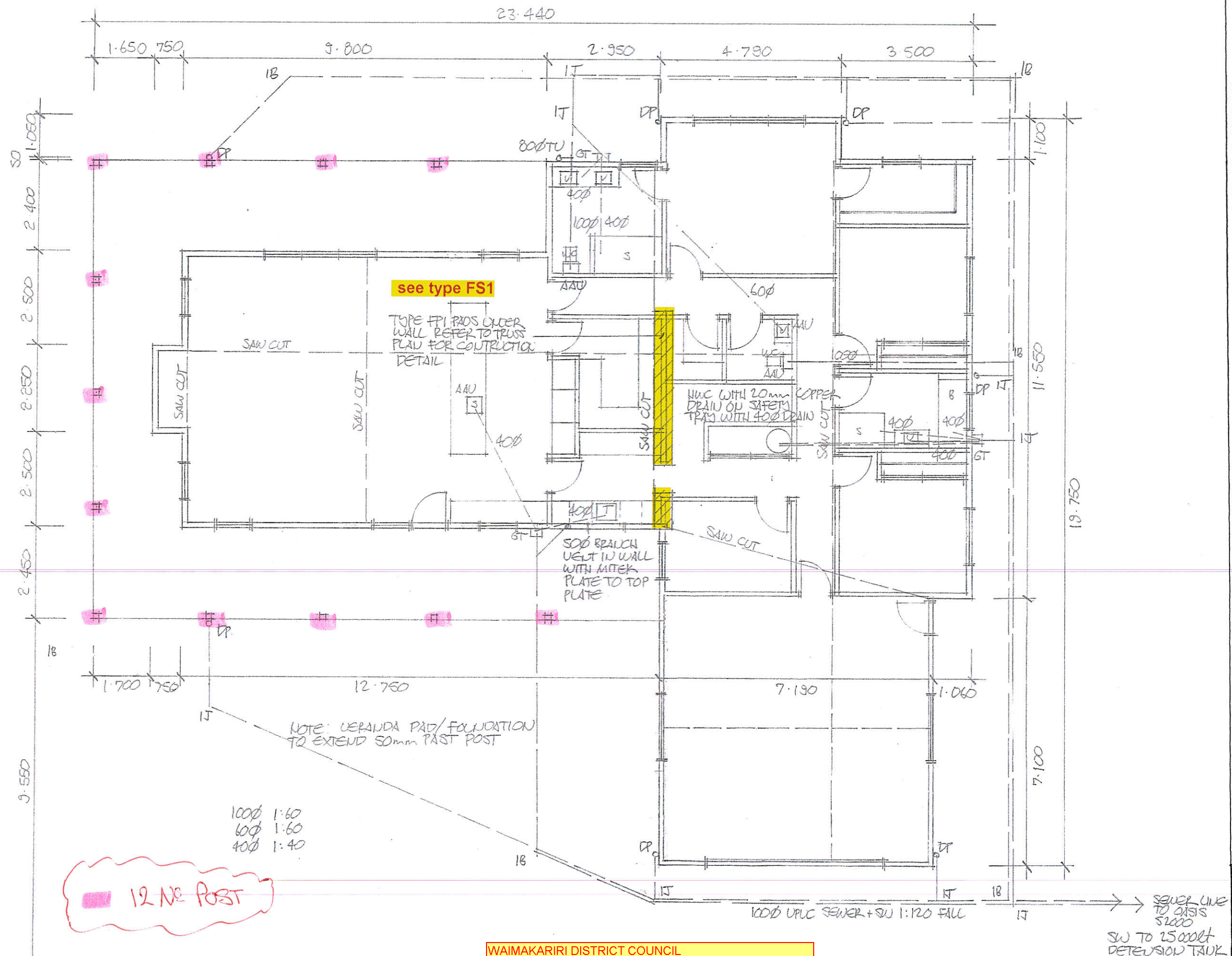
TYPICAL PENETRATION IN LOAD BEARING THICKENING - PIPE NOT CENTRAL

DATE PLOTTED: 9/08/2023 4:15:26 pm SAVE PATH: J:\23-180 - 71 Davis Road Cust\05 CAD files\02 Revit\23-180 - 71 Davis Road, CUST.rvt



DAVIS ROAD

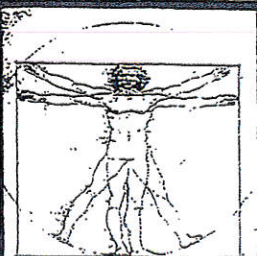
THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.													
RESIDENCE FOR WALSH 71 DAVIS RD CUST										DRAWN		A TOLSON	
										CHECKED		Andrew Toulson	
										DATE		Dec' 2022	
										VERSION			
TITLE		SITE PLAN		JOB#		59/2022		SHEET No.		01			
				SCALE		1:2000 1:500							
AMENDMENTS													
													
ICONIC ARCHITECTURE													



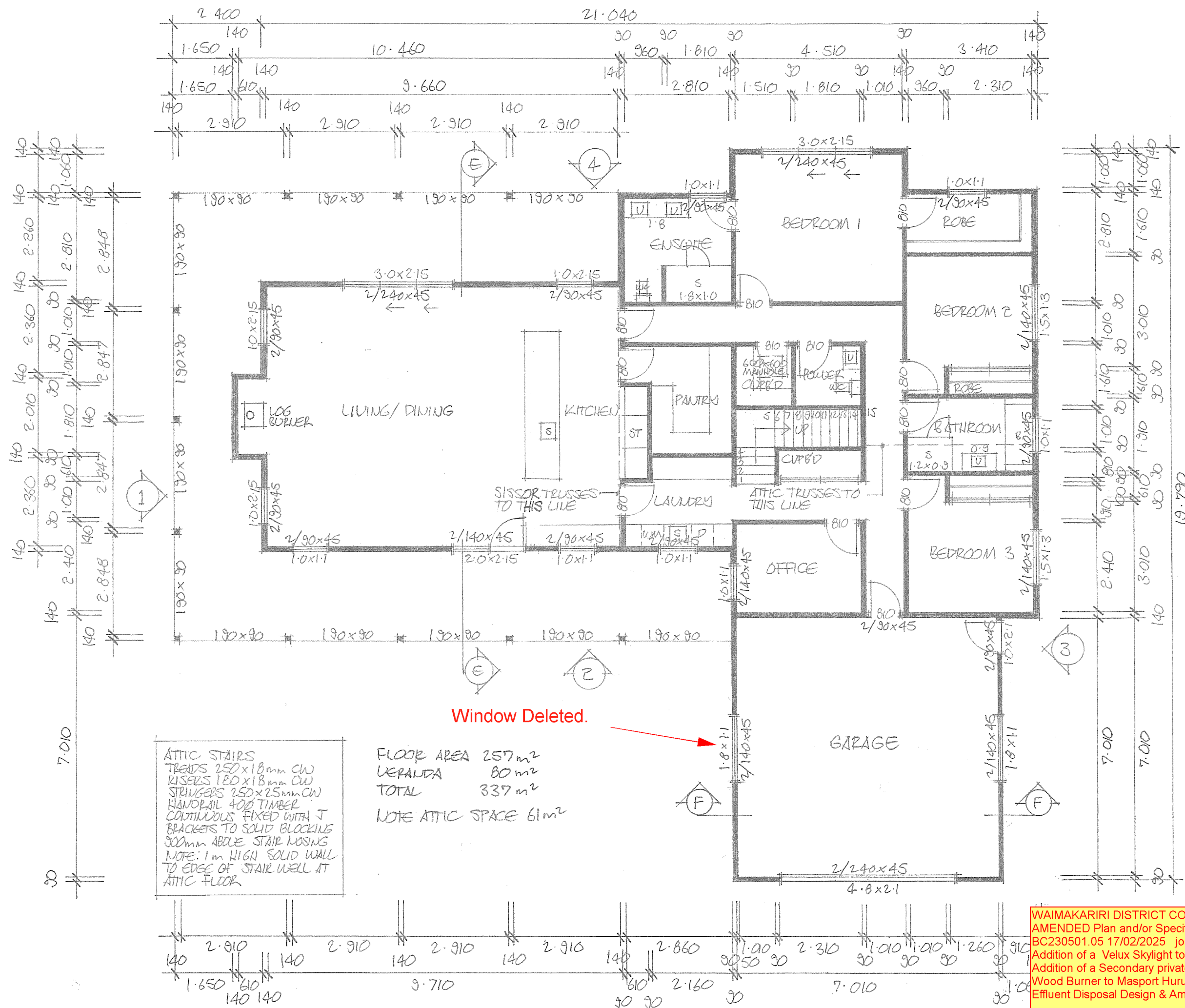
FOUNDATION / DRAINAGE PLAN

WAIMAKARIRI DISTRICT COUNCIL
MINOR VARIATION to Plan and/or Specifications APPROVED
BC230501.03 9/02/2024 bhargavac
Change of verandah foundation to post footings

NOTE: THIS PLAN TO BE READ
IN CONJUNCTION WITH PETER
HANSEN'S PLAN + DRAINAGE
DOCUMENTATION



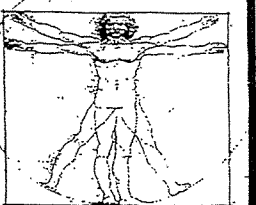
ICONIC ARCHITECTURE



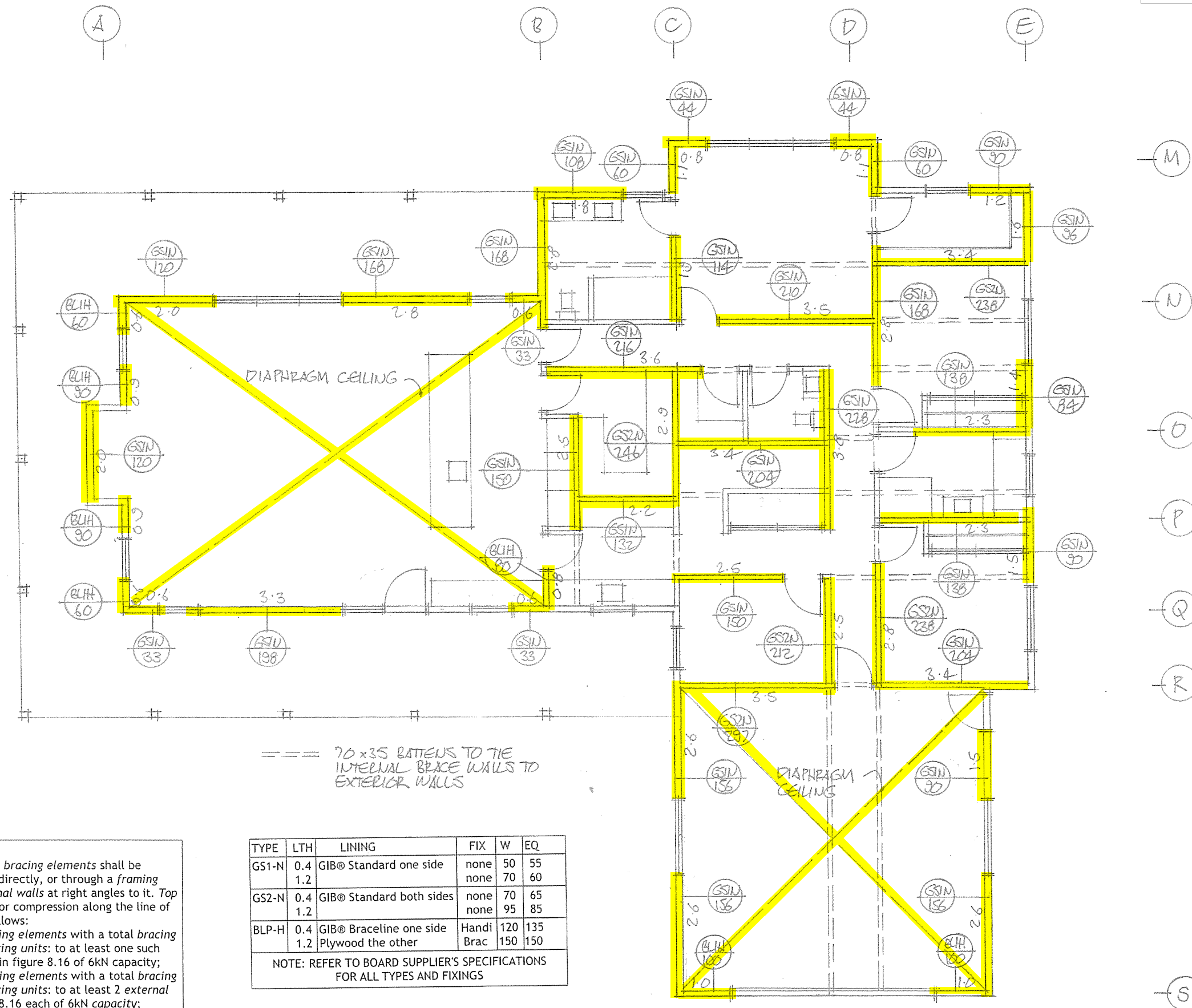
FLOOR PLAN

WAIMAKARIRI DISTRICT COUNCIL
 AMENDED Plan and/or Specifications APPROVED
 BC230501.05 17/02/2025 johnb
 Addition of a Velux Skylight to the attic space,
 Addition of a Secondary private stair, Change
 Wood Burner to Masport Hurunui F/S, Updated
 Effluent Disposal Design & Amended elevations.

THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.					
RESIDENCE FOR WALSH 71 DAVIS RD CUST	DRAWN	A TOLSON	CHECKED	Andrew Tolson	DATE
	VERSION	50/2022	DATE	Dec'2022	
	JOB#	50/2022	SCALE	1:100	
	TITLE	FLOOR PLAN	AMENDMENTS	ATTIC STAIR ADDED AUGUST 2024	
					03



ICONIC
ARCHITECTURE



NZS 3604:2011 - 8.7.3.4

Each wall that contains one or more *wall bracing elements* shall be connected at the *top plate* level, either directly, or through a *framing member* in the line of the *wall*, to *external walls* at right angles to it. *Top plate* fixing(s) of the *capacity* in tension or compression along the line of the *wall bracing element* are given as follows:

- (a) For each wall containing wall *bracing elements* with a total *bracing capacity* of not more than 125 *bracing units*: to at least one such *external wall* by a fixing as shown in figure 8.16 of 6kN capacity;
- (b) For each wall containing wall *bracing elements* with a total *bracing capacity* of not more than 250 *bracing units*: to at least 2 *external walls* by fixings as shown in figure 8.16 each of 6kN capacity;
- (c) For each wall containing wall *bracing elements* with a total *bracing capacity* of more than 250 *bracing units*: to at least 2 *external walls* by fixings as shown in figure 8.16 each having a rating of not less than 2.4kN per 100 *bracing units*.

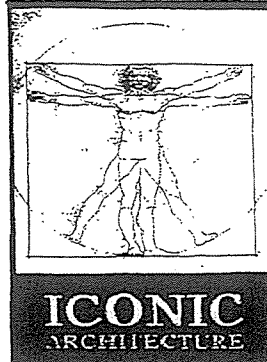
TYPE	LTH	LINING	FIX	W	EQ
GS1-N	0.4	GIB® Standard one side	none	50	55
	1.2		none	70	60
GS2-N	0.4	GIB® Standard both sides	none	70	65
	1.2		none	95	85
BLP-H	0.4	GIB® Braceline one side Plywood the other	Handi	120	135
	1.2		Brac	150	150

NOTE: REFER TO BOARD SUPPLIER'S SPECIFICATIONS
FOR ALL TYPES AND FIXINGS

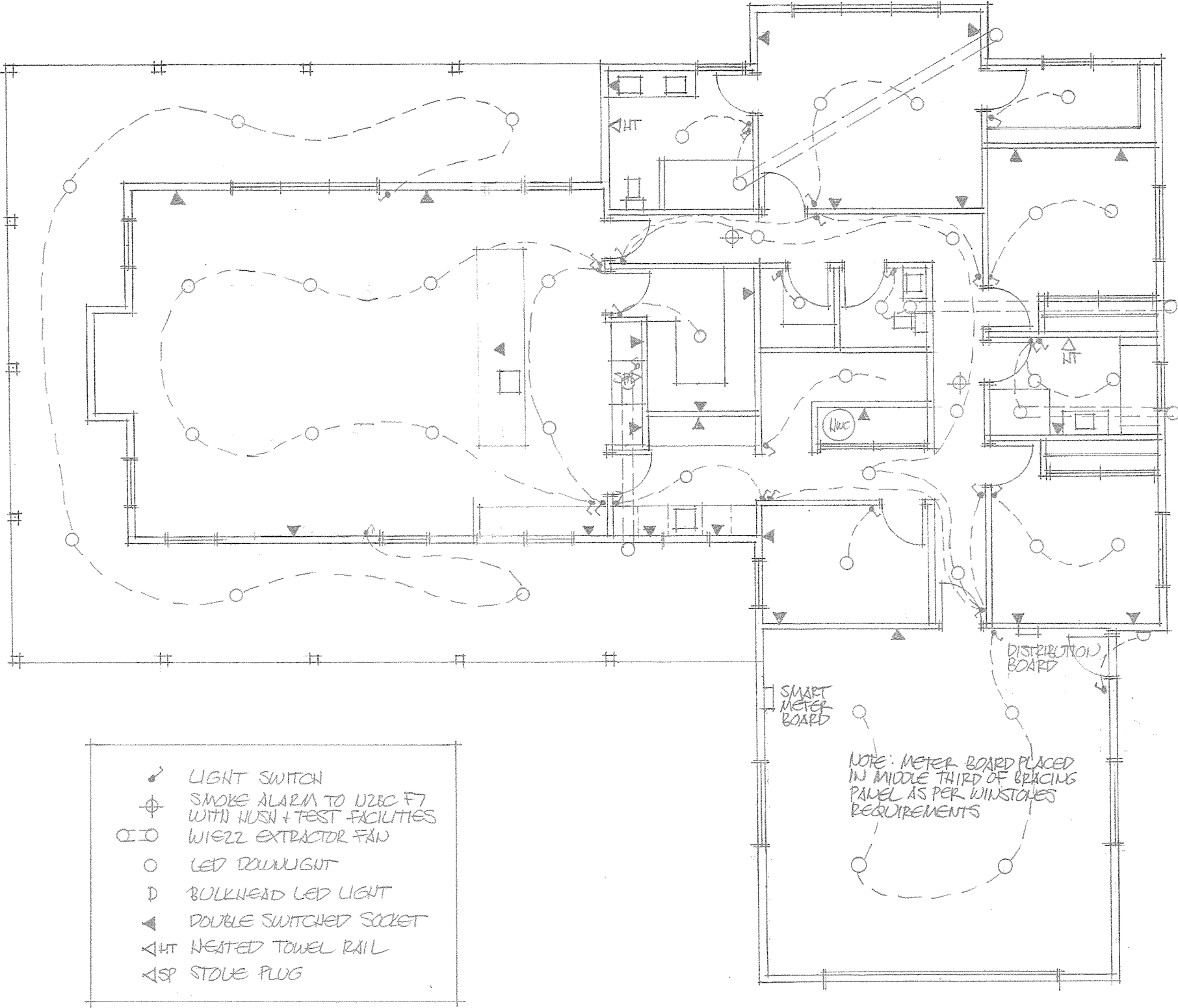
TOP PLATE JOINTS FOR ALL BRACED WALLS	
Up to 100 BUs	3 Kn Plate fixing
Over 100 BUs	6 Kn Plate fixing
As per Fig. 8:15 & 8:16	

BRACING PLAN

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
BC230501 6/07/2023 Chrisk

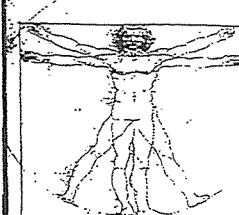



THIS PLAN IS IN THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.			
RESIDENCE FOR WALSH 71 DAVIS RD CUST			
TITLE	BRACING PLAN	JOB#	50/2022
		SCALE	1:100
AMENDMENTS		VERSION	
		SHEET No.	04
		DATE	DEC'2022
		CHECKED	Andrew Toulson
		DRAWN	A Toulson



ELECTRICAL PLAN

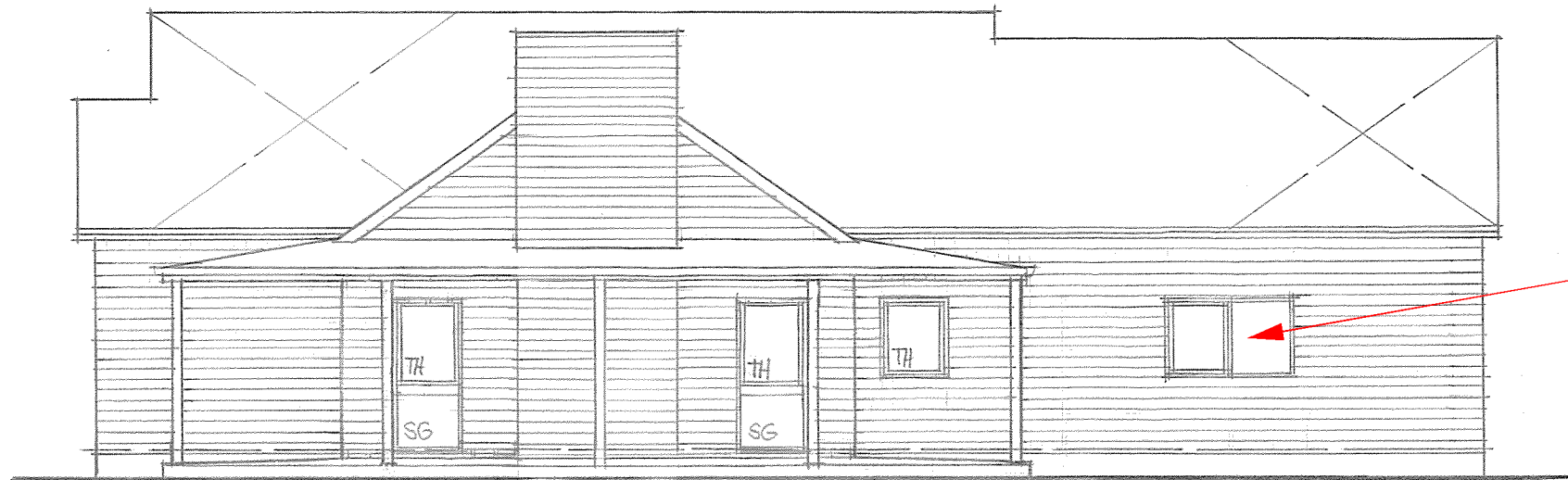
WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC230501 6/07/2023 Chrisk

THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.					
 <div><div>ICONIC</div><div>ARCHITECTURE</div></div>	RESIDENCE FOR WALSN 71 DAVIS RD CEST		DRAWN		A TOLSON
			CHECKED		Andrew Toulson
			DATE		DEC 2022
	TITLE		JOB#		50/2022
SCALE			1:100	SHEET No.	
AMENDMENTS		05			

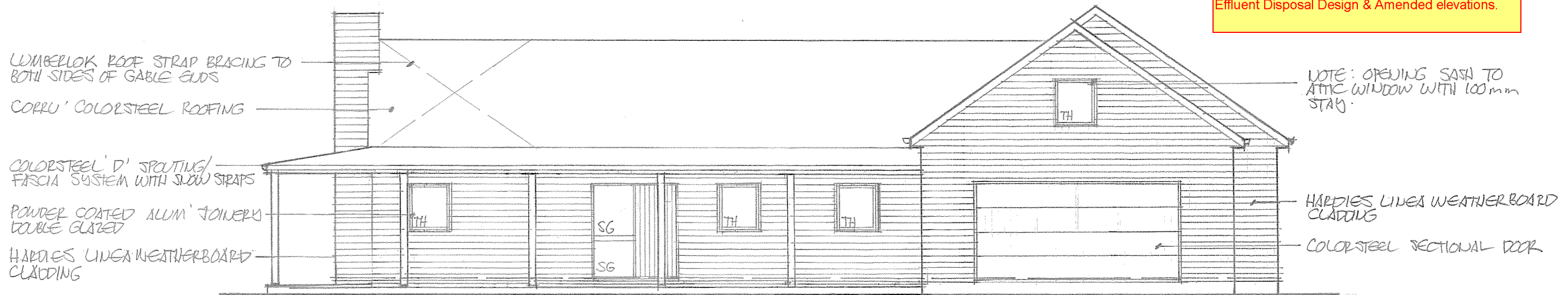


ICONIC
ARCHITECTURE

THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.			
RESIDENCE FOR WALSH 71 DAVIS RD COST		DRAWN	A TOUNSON
		CHECKED	Andrew Toulson
		DATE	DEC' 2022
		VERSION	
TITLE	ROOF PLAN + GUTTER DETAILS	JOB#	50/2022
		SCALE	1:100
AMENDMENTS		SHEET No.	06

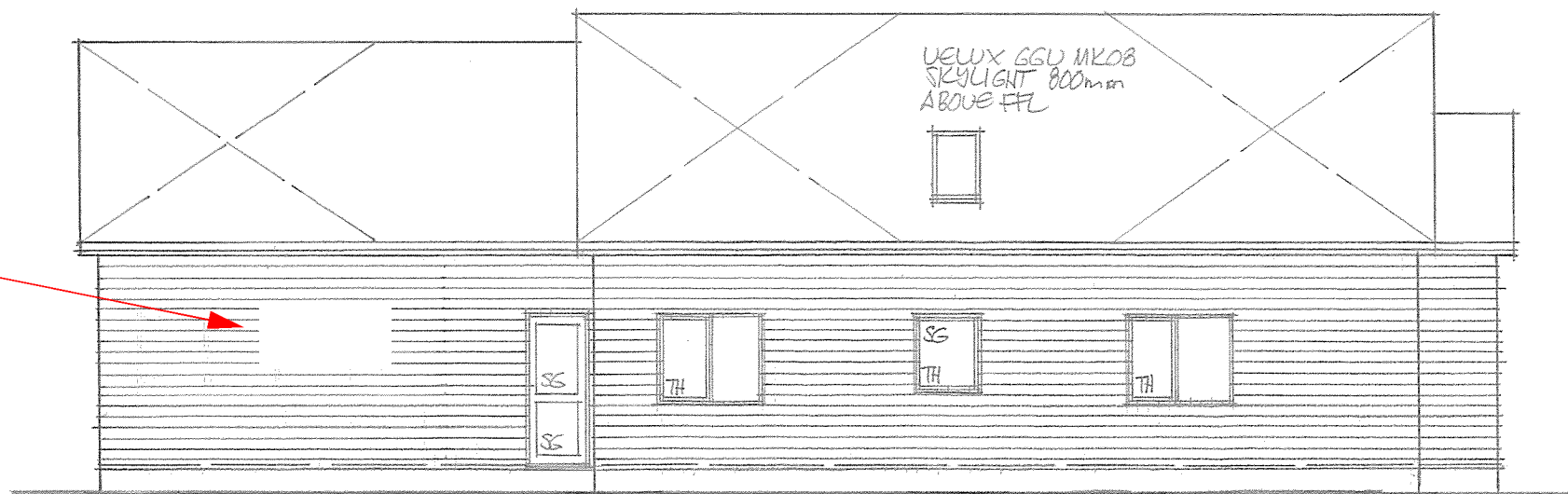


ELE 1



ELE 2

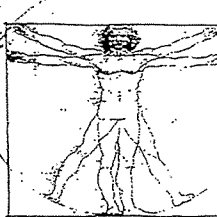
Window



ELE 3

Window Deleted.

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC230501.05 17/02/2025 johnb
Addition of a Velux Skylight to the attic space,
Addition of a Secondary private stair, Change
Wood Burner to Masport Hurunui F/S, Updated
Effluent Disposal Design & Amended elevations.

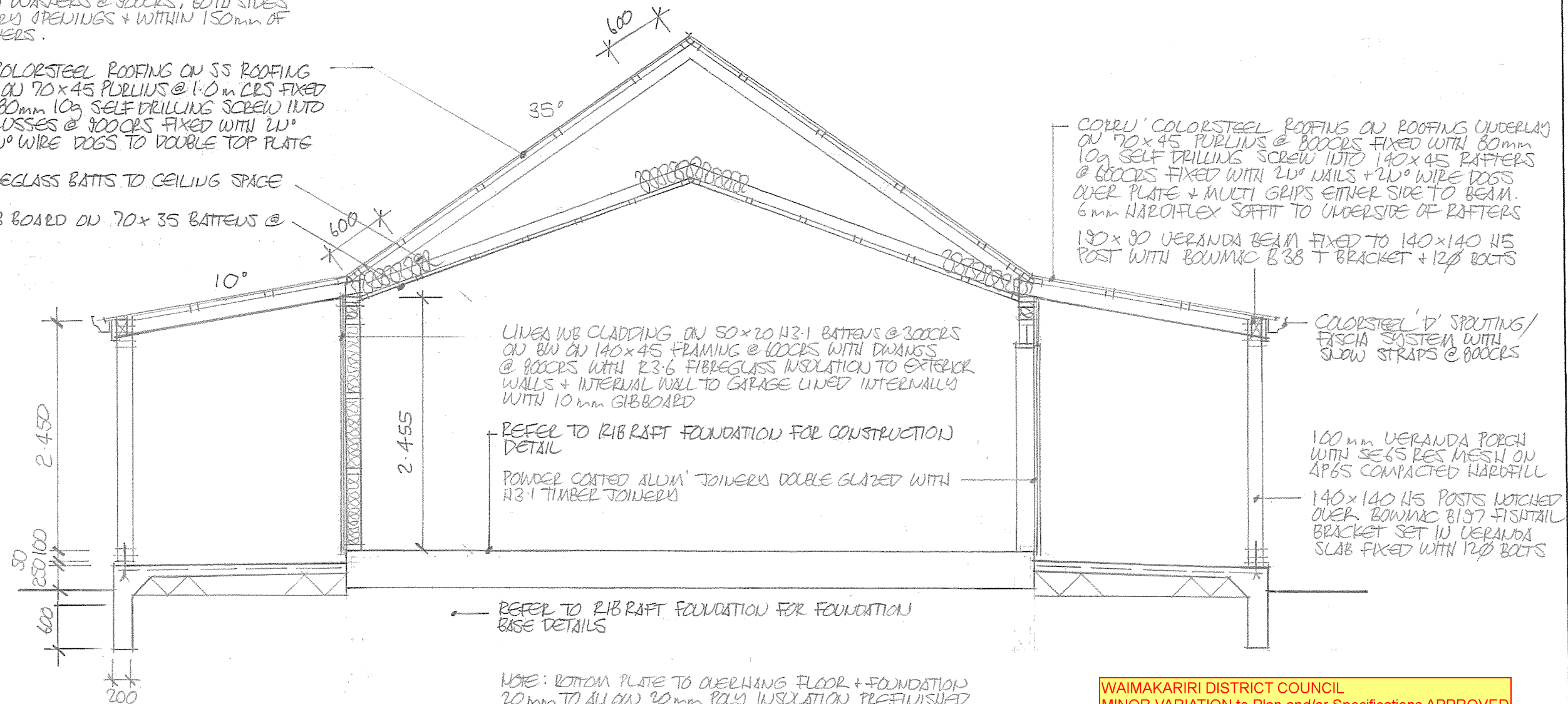
THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.									
				DRAWN		A Taulson			
				CHECKED		Andrew Toulson			
				DATE		Dec' 2022			
				VERSION					
				JOB#		Sol' 2022			
				SCALE		1:100			
TITLE				ELEVATIONS					
AMENDMENTS				BATTEN OVER PLUMBED CLIPPING CHANGED TO LINEA 22/04/2024					
									
ICONIC ARCHITECTURE									

NOTE: ALL TIMBER N1.2 PLUS RADIATA UNLESS OTHERWISE SPECIFIED. BOTTOM PLATE FIXED OVER DPC TO CONE WITH 12KVA BOLTS WITH SOD WASHERS @ 900CPS, BOTH SIDES OF JOINERY OPENINGS + WITHIN 150mm OF ALL CORNERS.

CORRU' COLORSTEEL ROOFING ON SS ROOFING UNDERLAY ON 70x45 PURLINS @ 1.0m CRS FIXED WITH 11° 80mm 10g SELF DRILLING SCREW INTO SISSOR TRUSSES @ 900CPS FIXED WITH 2U° NAILS + 2U° WIRE DOGS TO DOUBLE TOP PLATS

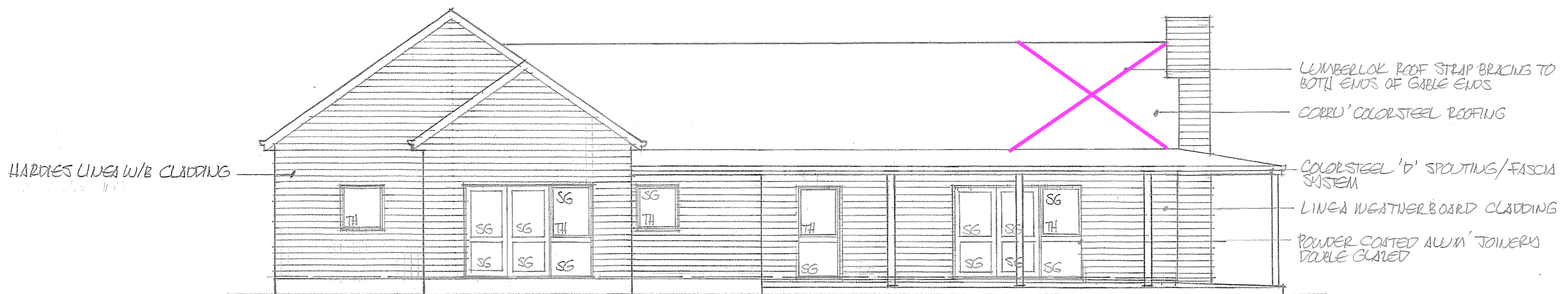
R52 FIBREGLASS BATTS TO CEILING SPACE

13mm GIB BOARD ON 70x35 BATTENS @ 600CPS



SECTION E-E

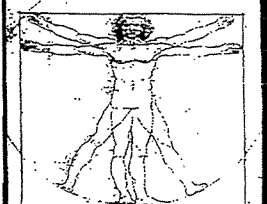
WAIMAKARIRI DISTRICT COUNCIL
MINOR VARIATION to Plan and/or Specifications APPROVED
BC230501.04 30/04/2024 bhargavac
Batten over plywood cladding to living wing and chimney stone cladding is being swapped out for Linea to match rest of house



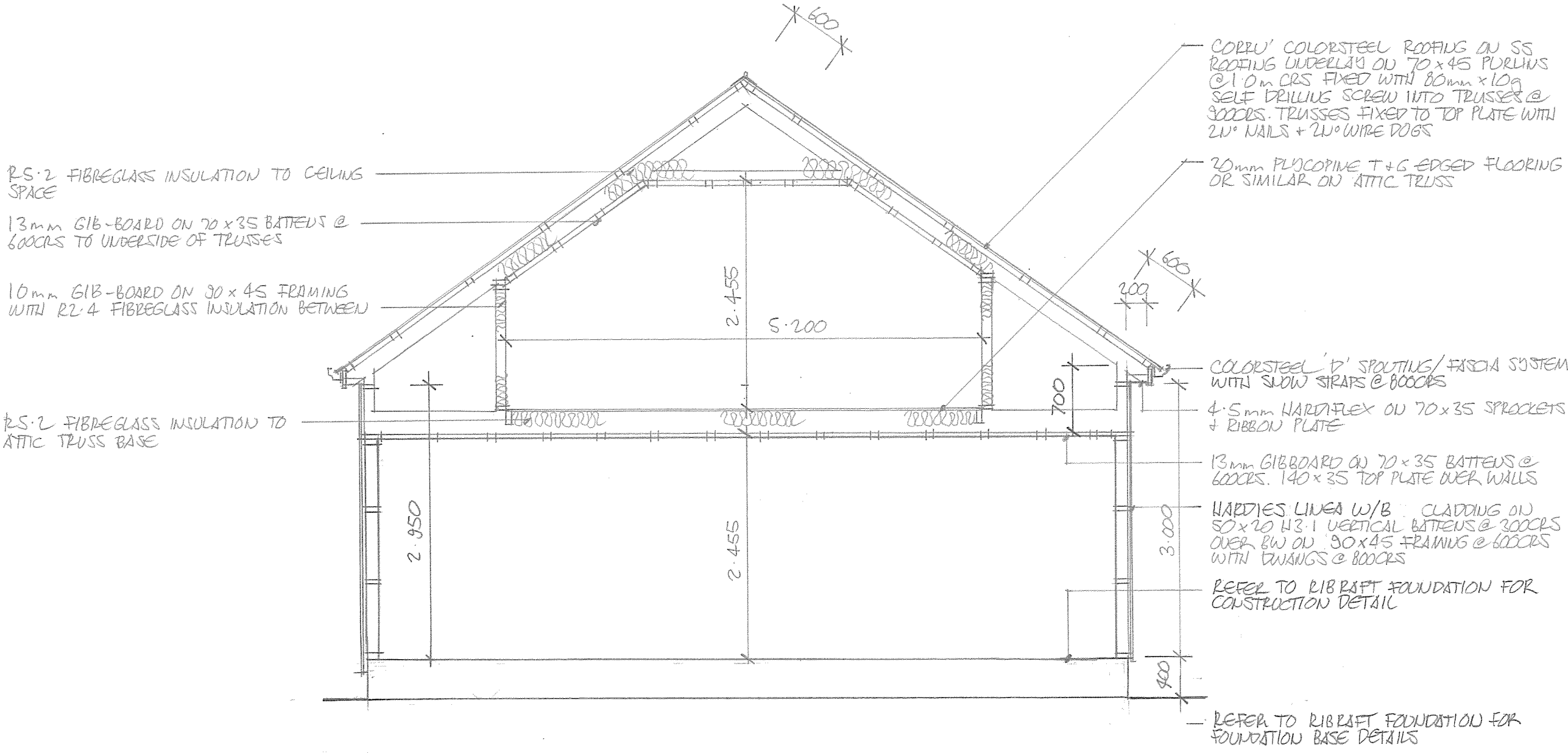
ELE 4

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DRAWN	CHECKED	DATE	VERSION	SHEET No.
A TOLSON	Andrew Tolson	Dec' 2022		08
RESIDENCE FOR WALSH 71 DAVIS RD CUST				
ELEVATION, SECTION E-E				
FOUNDATION CHANGED TO RIB RAFT 6/11/2023				
BATTEN OVER PLYWOOD CLADDING CHANGED 22/04/2024				
TITLE	AMENDMENTS	JOB#	SCALE	
		50/2022	1:100	



ICONIC
ARCHITECTURE



SECTION F-F

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC230501.05 17/02/2025 johnb
Addition of a Velux Skylight to the attic space,
Addition of a Secondary private stair, Change
Wood Burner to Masport Hurunui F/S, Updated
Effluent Disposal Design & Amended elevations.

THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

A TOLSON		DRAWN		50/2022		JOB#		SCALE	
Andrew Toulson		CHECKED		50/2022		50/2022		1:50	
DEC' 2022		DATE		50/2022		50/2022		1:50	
		VERSION		50/2022		50/2022		1:50	
		SHEET No.		50/2022		50/2022		1:50	

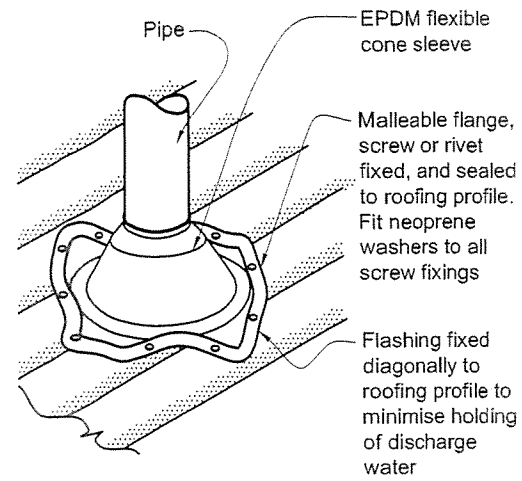
RESIDENCE FOR WALSH 71 DAVIS RD CUST

SECTION F-F

FOUNDATION CHANGED TO RIB RAFT 6/11/2023.

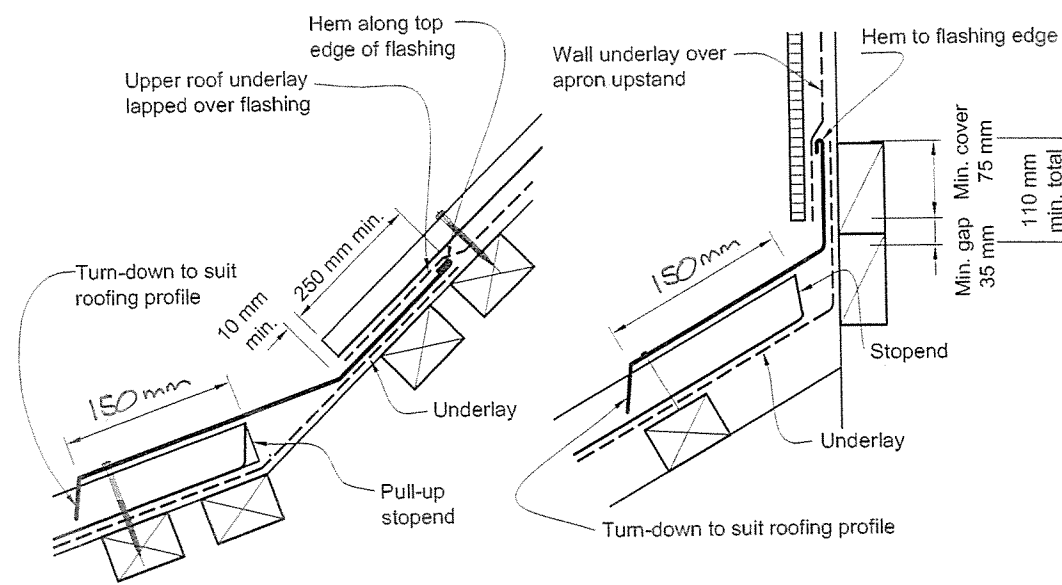
GIB-BOARD LINING + INSULATION ADDED TO ATTIC 10/2/2025

ICONIC ARCHITECTURE



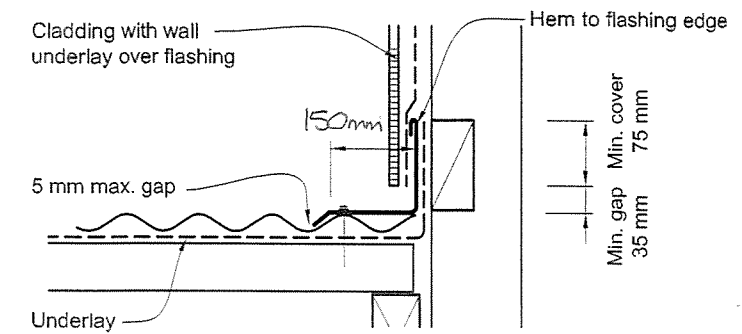
NOTE:
(1) Max. roof pitch for this flashing 45°, minimum pitch 10° if base of flange covers one or more complete troughs.
(2) For pipes up to 85 mm diameter.

PIPE FLASHING

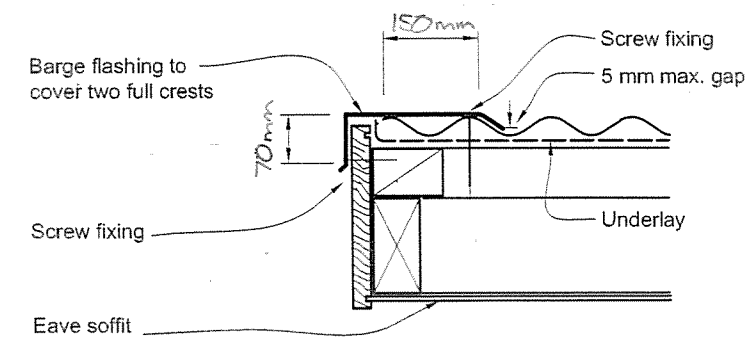


CHANGE OF PITCH FLASHING

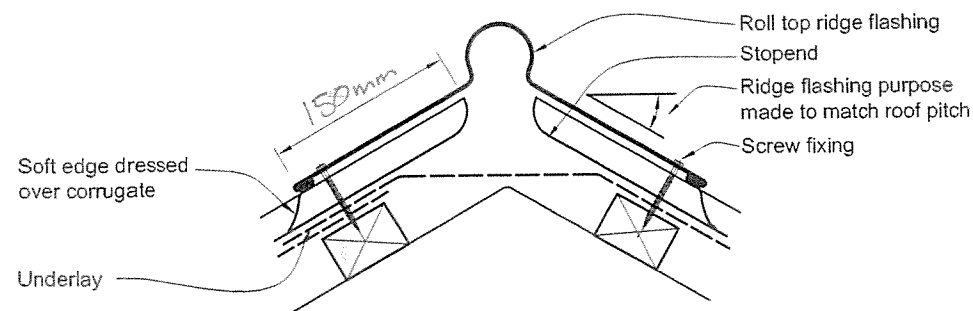
APRON FLASHING



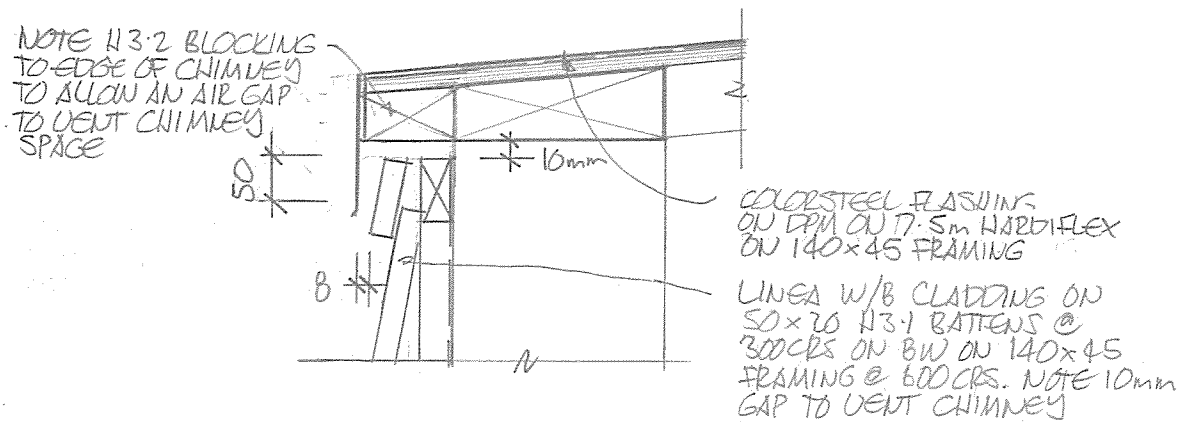
PARALLEL APRON FLASHING



BARGE FLASHING

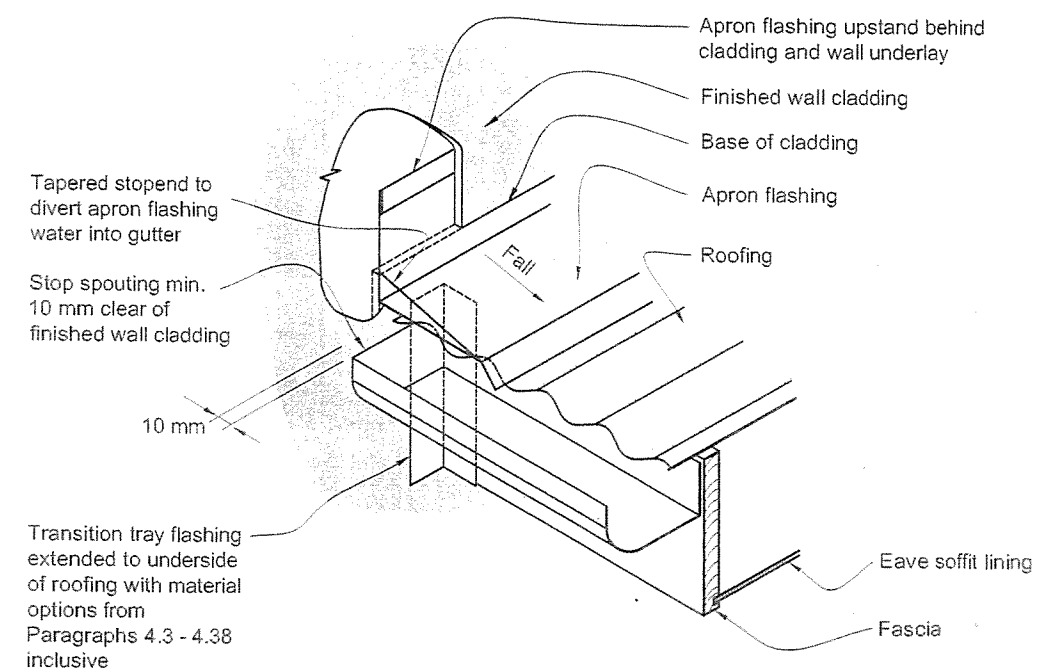


RIDGE FLASHING



TOP OF CHIMNEY FLASHING

NOTE: (1) The upstand at the lower edge of the *apron flashing* may be preformed to a larger size and then trimmed on site to suit.
(2) The *transition flashing* bridges gap at the end of the fascia to protect the soffit framing.
(3) *Wall underlay* omitted for clarity.

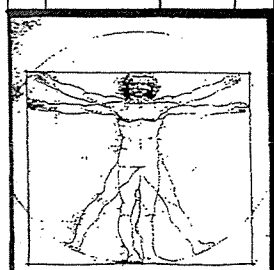


APRON FLASHING DIVERTOR

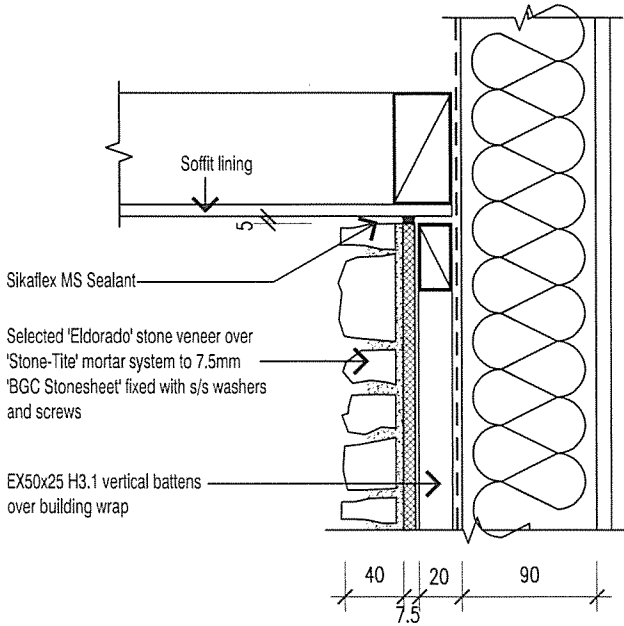
WAIMAKARIRI DISTRICT COUNCIL
MINOR VARIATION to Plan and/or Specifications APPROVED
BC230501.04 30/04/2024 bhargavac
Batten over plywood cladding to living wing and chimney stone
cladding is being swapped out for Linea to match rest of

THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

DRAWN	CHECKED	DATE	VERSION	SHEET No.
A. Toulson	Andrew Toulson	DEC '20		10
JOB# 50/2022				NTS
TITLE FLASHING DETAILS				AMENDMENTS
RESIDENCE FOR WALSH 71 DAVIS RD CUST				CLADDING TO CHIMNEY CHANGED TO LINEA 30/04/2024



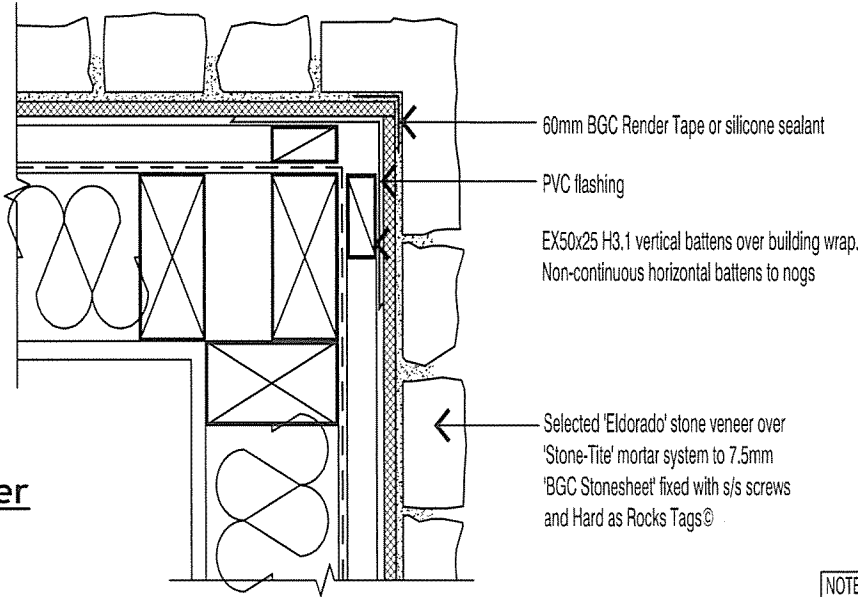
ICONIC
ARCHITECTURE



Cladding to Soffit

NOTE: EX50X25 BATTENS CAN BE SUBSTITUTED WITH EX50X50 WHERE APPROPRIATE
 NOTE: BGC SUBSTRATE TO BE FIXED IN STRICT ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND LITERATURE

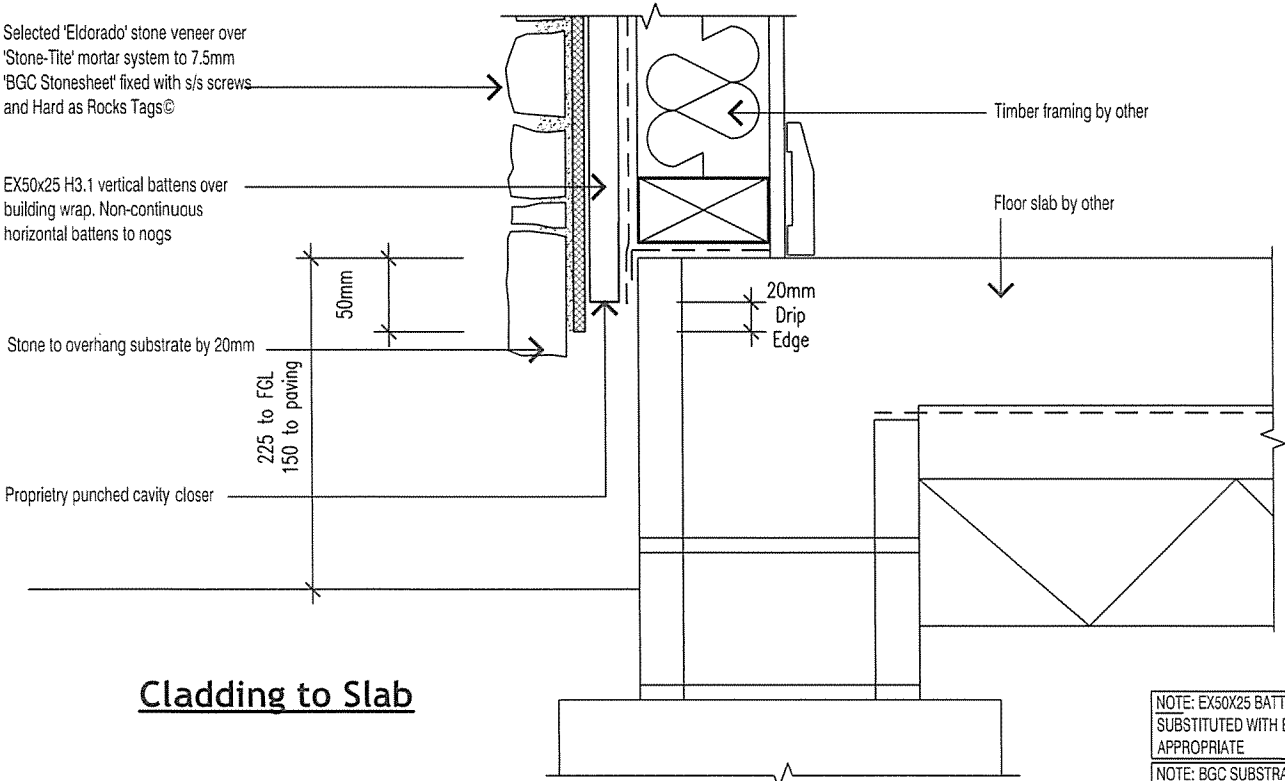
ATTENTION BUILDING CONSENT AUTHORITIES: ALL PROJECTS MUST BE REGISTERED AT BUILDING CONSENT STAGE BY PHONE (0800 353 672) OR E-MAIL (info@hardasrocks.co.nz) IN ORDER FOR LICENSED APPLICATORS TO TRACK AND PRODUCER STATEMENT TO BE ISSUED UPON COMPLETION AS PER SPECIFICATION MANUAL



External Corner

NOTE: EX50X25 BATTENS CAN BE SUBSTITUTED WITH EX50X50 WHERE APPROPRIATE
 NOTE: BGC SUBSTRATE TO BE FIXED IN STRICT ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND LITERATURE

ATTENTION BUILDING CONSENT AUTHORITIES: ALL PROJECTS MUST BE REGISTERED AT BUILDING CONSENT STAGE BY PHONE (0800 353 672) OR E-MAIL (info@hardasrocks.co.nz) IN ORDER FOR LICENSED APPLICATORS TO TRACK AND PRODUCER STATEMENT TO BE ISSUED UPON COMPLETION AS PER SPECIFICATION MANUAL



Cladding to Slab

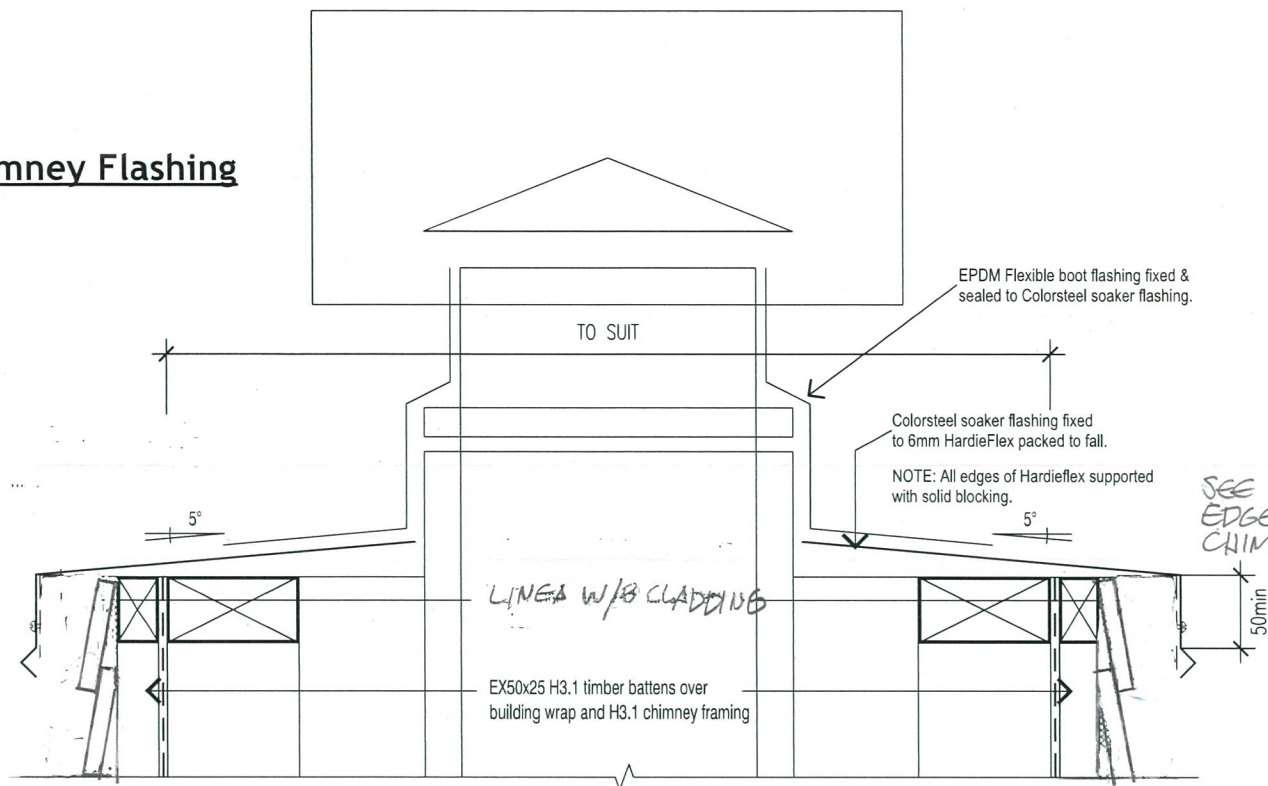
NOTE: EX50X25 BATTENS CAN BE SUBSTITUTED WITH EX50X50 WHERE APPROPRIATE
 NOTE: BGC SUBSTRATE TO BE FIXED IN STRICT ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND LITERATURE

ATTENTION BUILDING CONSENT AUTHORITIES: ALL PROJECTS MUST BE REGISTERED AT BUILDING CONSENT STAGE BY PHONE (0800 353 672) OR E-MAIL (info@hardasrocks.co.nz) IN ORDER FOR LICENSED APPLICATORS TO TRACK AND PRODUCER STATEMENT TO BE ISSUED UPON COMPLETION AS PER SPECIFICATION MANUAL

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3
 BC230501 6/07/2023 Chrisk

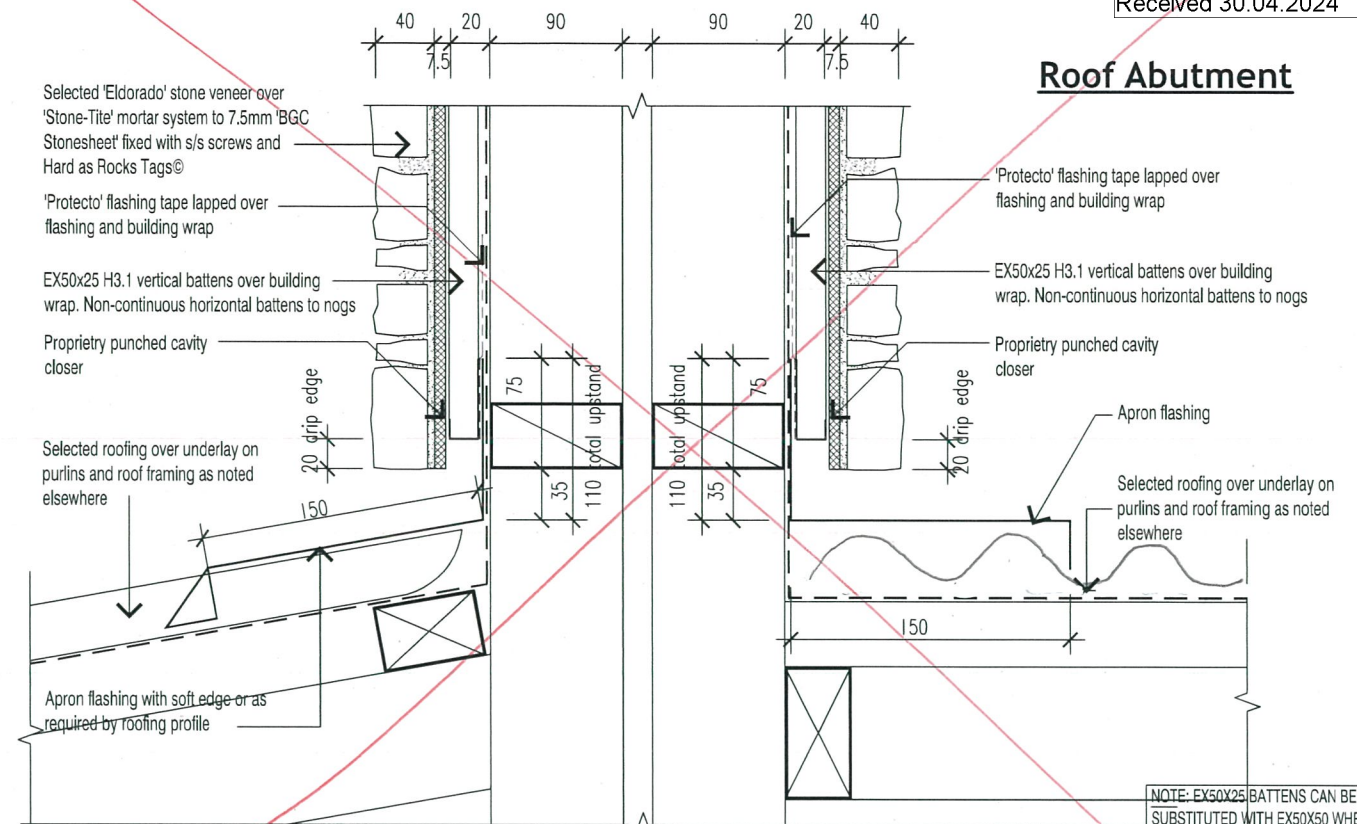
THIS PLAN IS THE EXCLUSIVE PROPERTY OF ICONIC ARCHITECTURE LIMITED - UNAUTHORISED USE MAY RESULT IN LEGAL ACTION. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.				DRAWN		Supplier
Proposed Residence 71 Davis Rd, Cust				CHECKED		Andrew Toulson
				DATE		Dec 2022
				VERSION		
TITLE	HAR Soffit, Slab & Column			JOB#	50/2022	
AMENDMENTS				SCALE @ A3	N.T.S.	
					SHEET No.	11

Chimney Flashing



SEE SHEET 10 FOR
EDGE FINISHING TO
CHIMNEY FLASHING

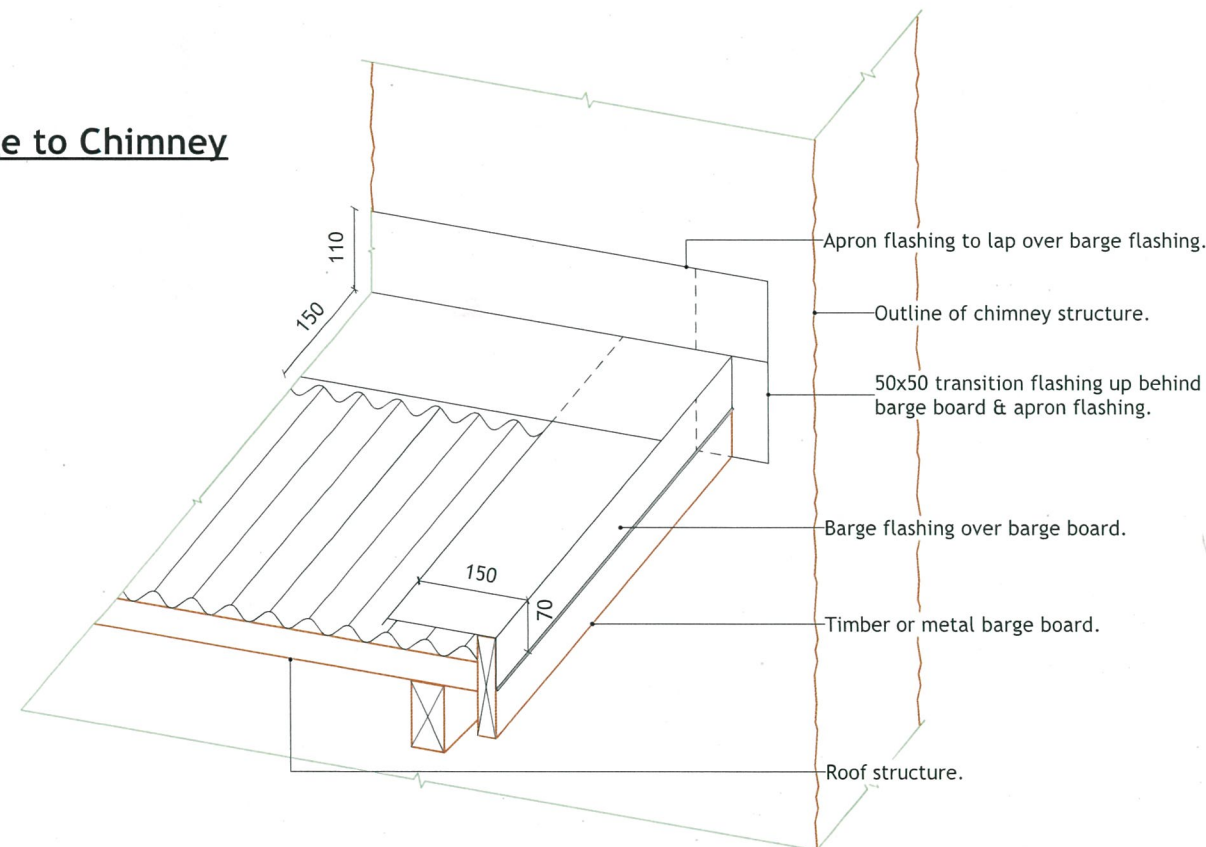
Roof Abutment



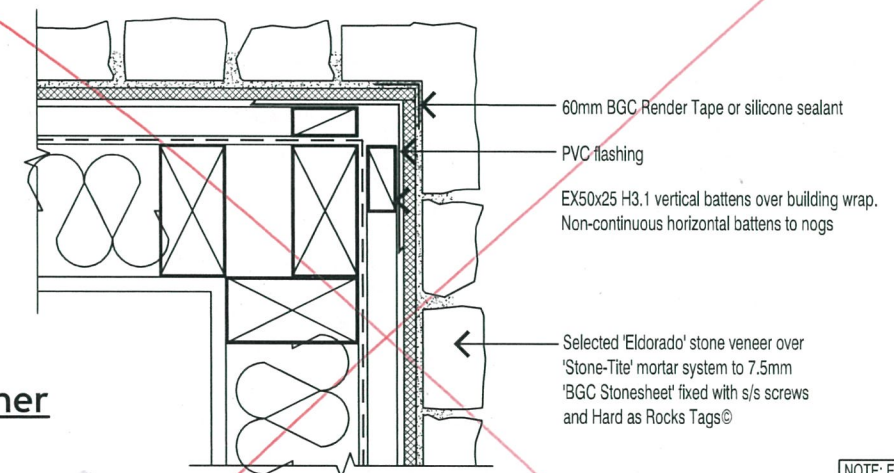
NOTE: EX50x25 BATTENS CAN BE
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APPROPRIATE

NOTE: BGC SUBSTRATE TO BE FIXED IN
STRICT ACCORDANCE WITH
MANUFACTURER RECOMMENDATIONS
AND LITERATURE

Barge to Chimney



External Corner

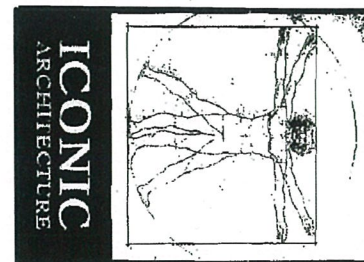


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WAIMAKARIRI DISTRICT COUNCIL
MINOR VARIATION to Plan and/or Specifications APPROVED
BC230501.04 30/04/2024 bhargavac
Batten over plywood cladding to living wing and chimney stone
cladding is being swapped out for Linea to match rest of
house



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Proposed Residence
71 Davis Rd, Cust

TITLE HAR Chimney Flashing Options & Roof Abutment

AMENDMENTS CHIMNEY CLADDING CHANGED TO LINEA W/B 30/04/2024

JOB#

50/2022

SCALE
@ A3

N.T.S.

DRAWN
CHECKED
DATE

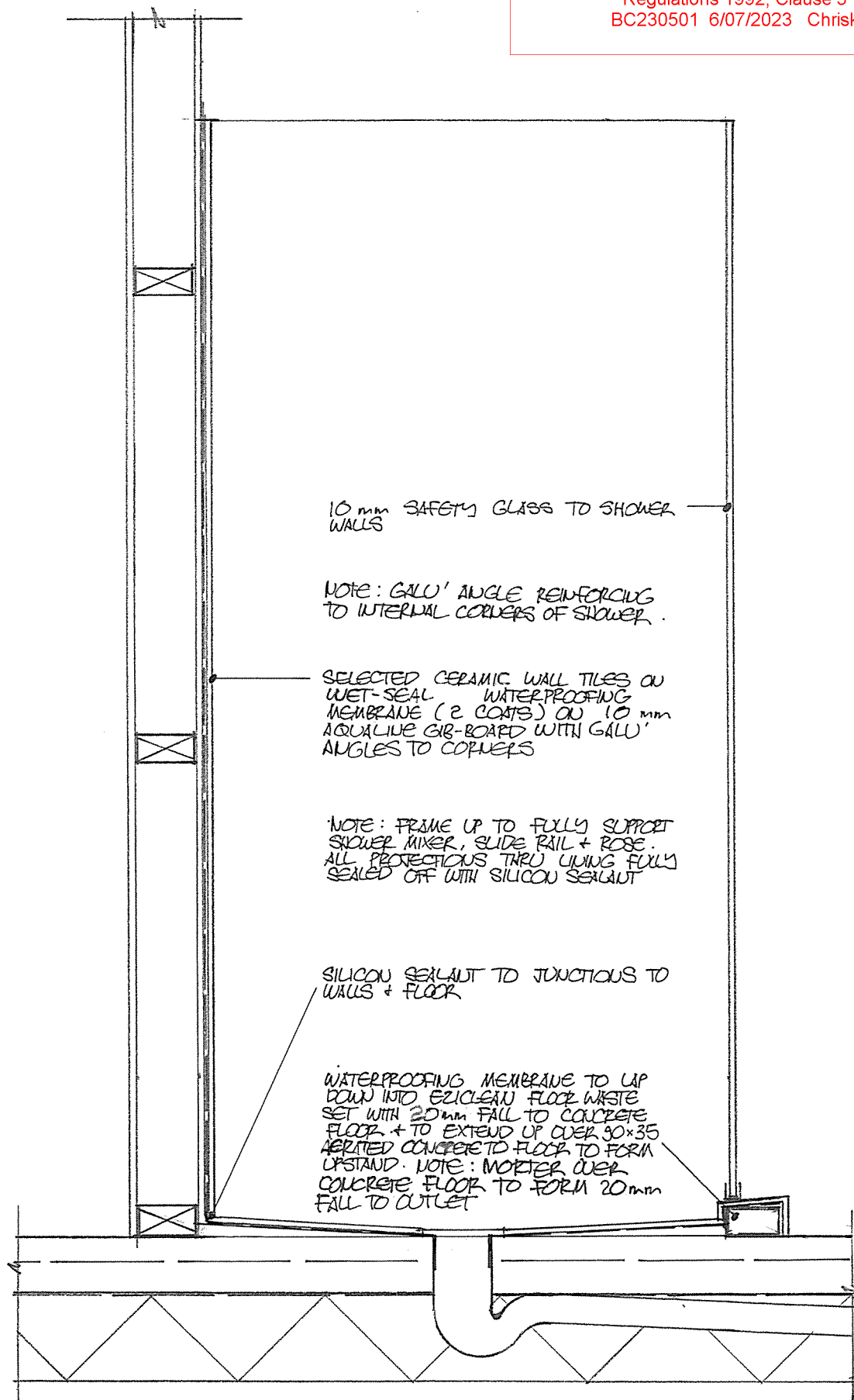
Supplier
Andrew Toulson
Dec 2022

VERSION

SHEET
No.

12

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
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TILED SHOWER DETAIL 1:10